

# Planning Committee

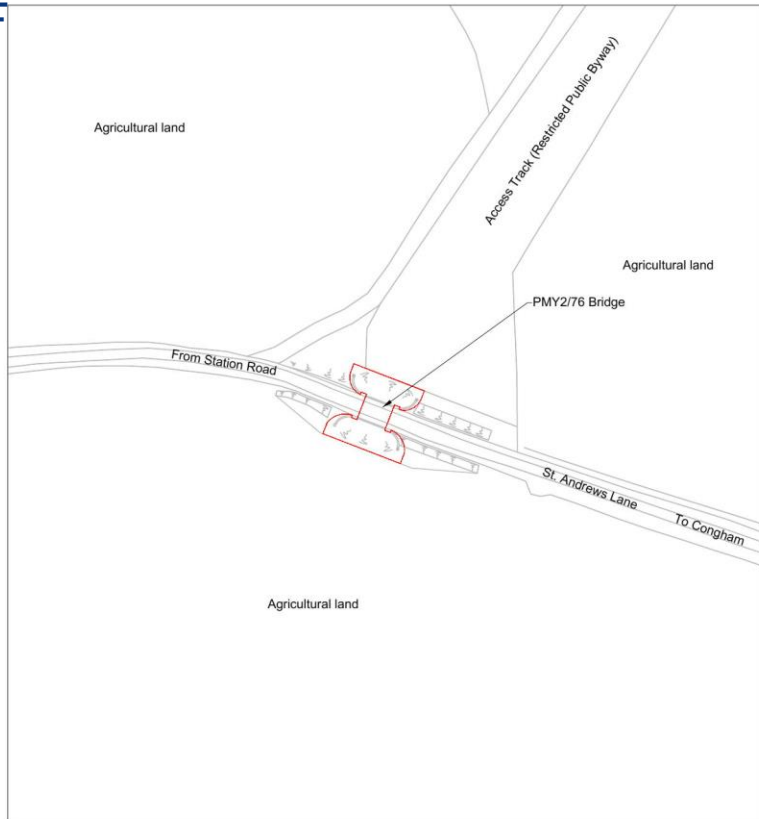
## 2 October



23/00894/F



### Site Location Plan



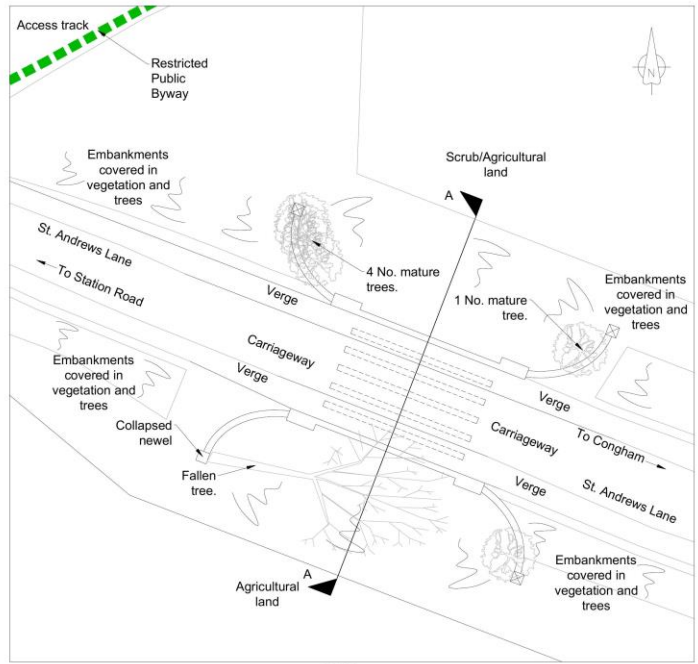
Scale 1:1000 @ A3

### Location Details

OS Ref	TF 703 238
OS X (Eastings)	570309
OS Y (Northings)	323839
Nearest Post Code	PE32 1AW

Site Area	345m2
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PLAN  
SCALE  
1:100 @ A1  
1:200 @ A3

Notes

1. This drawing is not to be used in whole or part other than for the intended purpose and project, as defined on this drawing. Refer to the contract for the full terms and conditions.
2. All dimensions are in millimetres and levels in metres unless stated otherwise. TBM value of 100.000 situated on top of the northwest parapet, at the first joint from the pilaster.
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4. Date of Site survey :- 28/08/2019.

**PLANNING**

04	09/03/20	PLANNING	JAW	MR	MR
03	14/03/20	FOR CONSTRUCTION	JAW	MR	MR
02	04/03/20	Phase B	JAW	MR	MR
01	24/02/20	Phase A	JAW	MR	MR
001	12/02/20	PROPOSAL OF RESOURCES	JAW	MR	MR

**JACOBS**  
WITLOOK & ASSOCIATES CONSULTANTS LIMITED  
 HEALTHY WORK SOLUTIONS

CLIENT  
 Historical Railways Estate on behalf of the DfT

PROJECT  
 HRE WORKS FRAMEWORK

PROPOSAL  
 STRUCTURE PMY2/76  
 STRUCTURAL INFILLING  
 PRE-WORKS PLAN

DATE: 04/03/2020

SCALE: AS SHOWN ON DRAWING

JACOBS No: B28280-DA-EC-001  
 CLIENT No: PMY2/76

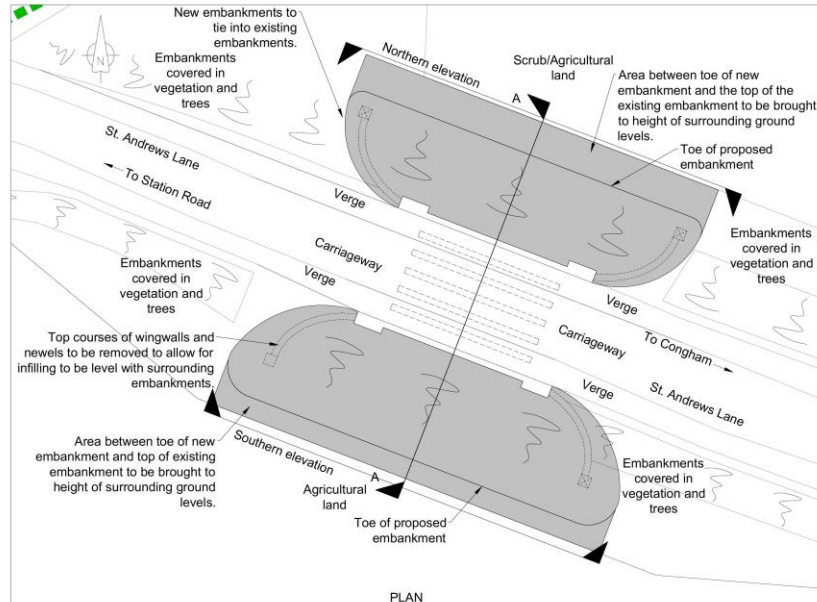
DATE: 04/03/2020

B28280-DA-EC-001

04







PLAN  
SCALE  
1:100 @ A1  
1:200 @ A3

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4. This drawing is based on a site survey (28/08/2019) and historical drawings provided by HRE as appropriate.

PLANNING

04	00/0000	PLANNING	JAW	04	000
03	00/0000	FOR CONSTRUCTION	JAW	04	000
02	00/0000	Phase B	JAW	04	000
01	00/0000	Phase A	JAW	04	000
00	00/0000	PHASES OF RECORD	JAW	04	000

**JACOBS**  
WORLDWIDE ENGINEERING CONSULTANTS ARCHITECTS INTERIORS  
WEALTHY WEST AUSTRIAN DRIVE

CLIENT  
 Historical Railways Estate on behalf of the DfT

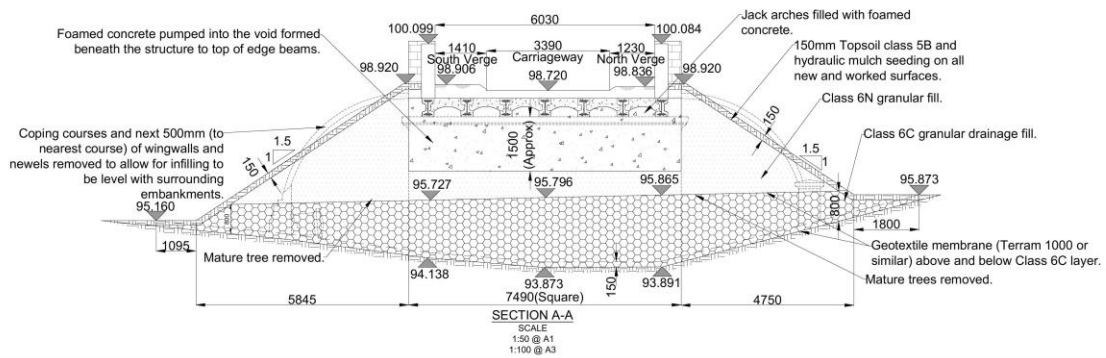
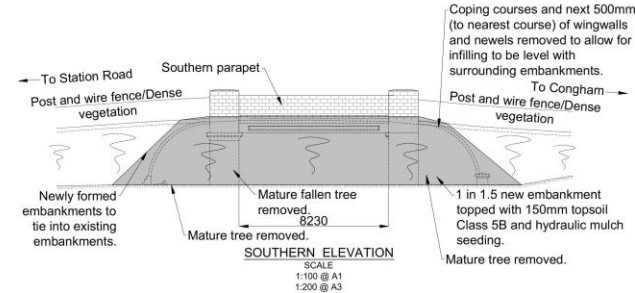
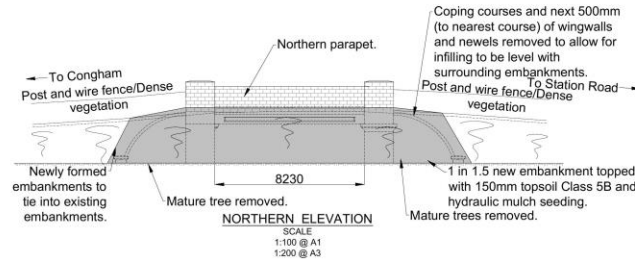
PROJECT  
 HRE WORKS FRAMEWORK

PROJECT TITLE  
 STRUCTURE PMY2/76  
 STRUCTURAL INFILLING  
 AS BUILT PLAN

DATE: 04/01/2023

SCALE: AS NOTED BY CLIENT  
 JACOBS No.: B23280-DA-EC-0003  
 CLIENT No.: PMY2/76

04



Notes

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4. This drawing is based on a site survey (28/08/2019) and historical drawings provided by HRE as appropriate.

**PLANNING**

04	04/00000	PLANNING	JAW	MD	MR
03	04/00000	FOR CONSTRUCTION	JAW	MD	MR
02	04/00000	Phase B	JAW	MD	MR
01	04/00000	Phase A	JAW	MD	MR
00	00000	PHASE OF DESIGN	DRWN	CHKD	APPROVD

**JACOBS**  
WORLDWIDE ENGINEERING CONSULTANTS ARCHITECTS INTERIORS  
HEALTHY ENVIRONMENT

COMP: Historical Railways Estate on behalf of the DfT

PROJECT: HRE WORKS FRAMEWORK

DESCRIPTION: STRUCTURE PMY2/76  
STRUCTURAL INFILLING  
AS BUILT ELEVATIONS AND SECTION

DATE: 2020/08/20

SCALE: AS NOTED BY C.D.  
JACOBS No.: B2000000  
CLIENT No.: PMY2/76

PROJECT No.: B20000-DA-EC-0004

04



23/00894/F

Slide  
No. 8



View of the infilled bridge looking south with the restricted byway (right of way) to the right leading to St Andrews Lane







View of the infilled bridge looking south







View of the restricted byway (right of way) beyond the bridge looking north







View of the infilled bridge looking north





23/00894/F

Slide  
No. 12



View of the field beyond the bridge looking south



# Speaker Graeme Bickerdike





1



23/00894

Slide No. 15



2



# PHOTOS FOR ILLUSTRATION PURPOSES ONLY: CONGHAM BRIDGE NOT SHOWN





PHOTO FOR ILLUSTRATION PURPOSES ONLY: CONGHAM BRIDGE **NOT** SHOWN

Slide No. 17

23/00894/F





23/00894/F

Slide No. 18



5



23/00894/F



Slide No. 19



Critical Element  
Overall Bridge Restriction

Critical Load Effect: Edge girder bending

**Condition: Fair**

Local Authority: Norfolk

TF 703 238









23/00894/F





23/00894/F

Slide No. 22



# Speaker Fiona Smith





# Historical Railways Estate

Keeping safe more than 3,100 former railway structures across  
Great Britain

## Congham Road Bridge - PMY2/76 Planning Application: 23/00894/F Images

The underside of the bridge suffered with fractures prior to our management. A temporary support (left image) was put in place in December 2010, followed by urgent repair works in January 2011 (right image)



Photos from 2019 of the east abutments show fractures in the abutment again.  
Repair works failed to safely resolve the fundamental issues with the bridge moving.



Close up photo of fracture in north side abutment, fracture measuring 25mm.



Concrete encasement around each beam had also fractured (highlighted) and spalled.



The deterioration of the concrete encasement resulted in corrosion within the girders on each of the bridge's seven beams.



The site had become a fly tipping area and had been historically graffitied.





23/00894/F

Views of the landscape

Slide No. 27



North of the bridge February 2020



South of the bridge February 2020



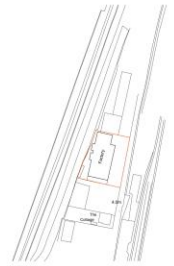
23/00493/F







STNBS1



Location Plan

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 on site prior to commencing work.  
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 this drawing

Ensure all pre-commencement Planning Conditions  
 are discharged prior to commencing work on site.  
 Ensure any CIL Payments are completed prior  
 to commencing work on site.  
 Ensure CDM 2015 Requirements have been fulfilled  
 prior to commencing work on site.

## Slide No. 29

Rev.



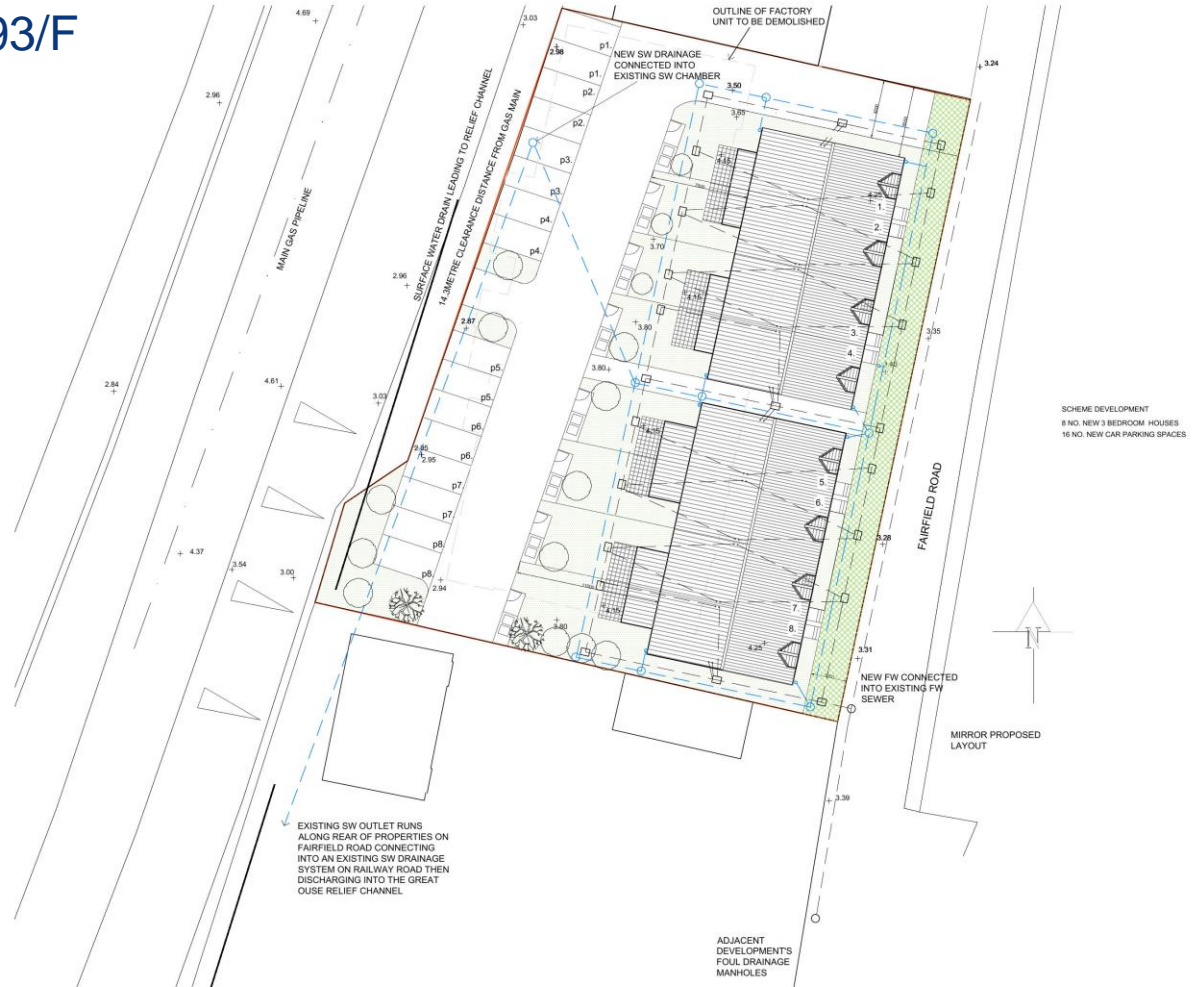
**64-66 Westwick Street  
 Norwich  
 NR2 4SZ  
 mob: 07810332998  
 email: nigel.cooper@norwicharchitects.com**

**Client :**  
 Bespoke Norfolk Group Ltd.

**Project :**  
 Fairfield Road, Downham Market  
 Norfolk

**Drawing Title:**  
 Site Survey & Location Plan

Project No: NA 191	Scale 1:100 & 1:1250
Drawing No: FR-DM-N-5501	Date January 2023



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Ensure CDM 2015 Requirements have been fulfilled  
prior to commencing work on site.

Rev.

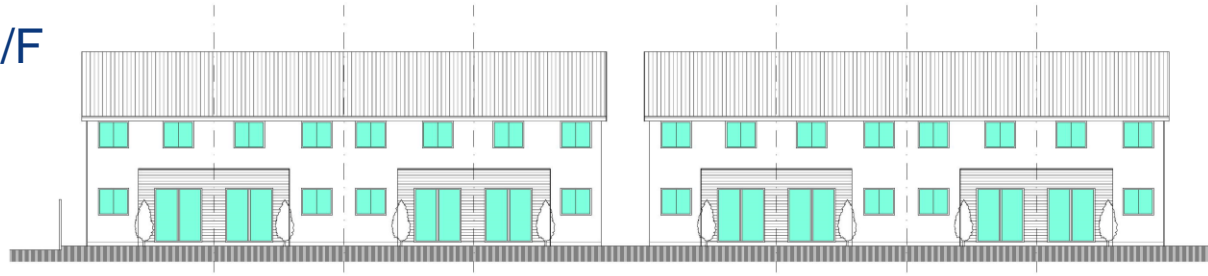
Norwich Architects

64-66 Westwick Street  
Norwich  
NR2 4SE  
mobile: 07816332098  
email: nigel.cooper@norwicharchitects.com

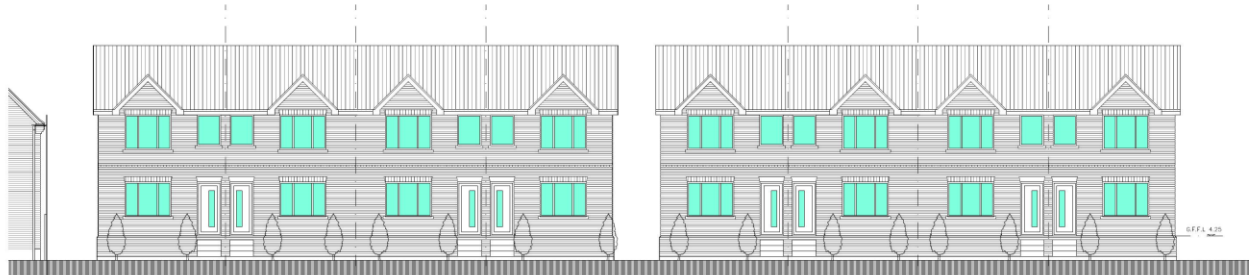
Client : Bespoke Norfolk Group Ltd.	
Project : Fairfield Road, Downham Market Norfolk	
Drawing Title: Proposed Site Plan	
Project No. NA 191	Scale 1:200
Drawing No. FR-DM-N-SL02	Date July 2023

23/00493/F

Slide  
No. 31



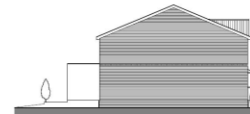
REAR ELEVATION



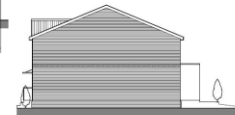
FRONT ELEVATION



STREET ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

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commencing work on site.  
Ensure CDM 2015 Requirements have been fulfilled  
prior to commencing work on site.

C. Elevations Amended  
B. Levels Updated  
A. Site Levels Added  
Rev.



64-66 Westwick Street  
Norwich  
NR2 4SE  
mobile: 07816332998  
email: nigel.cooper@norwicharchitects.com

Client :  
Bespoke Norfolk Group Ltd.

Project :  
Fairfield Road, Downham Market  
Norfolk

Drawing Title:  
Proposed Street & Rear Elevation  
(plots 1-7)

Project No. NA 191	Scale 1:100
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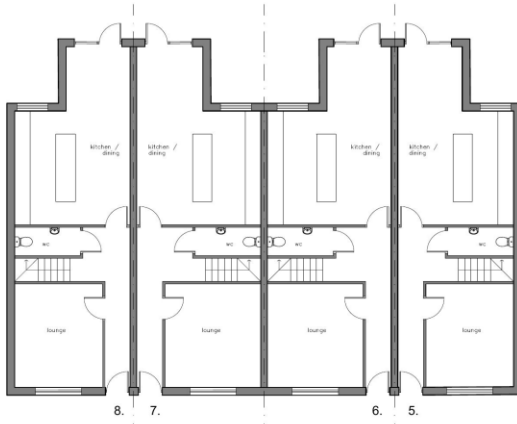
Drawing No. FR-DM-N-04 C	Date December 2022
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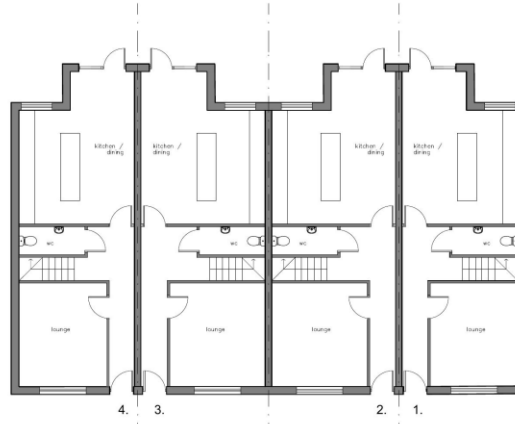
First Floor Plan  
Plot Floor Area = 48sqm



Plot Floor Area = 52sqm  
Plots 1-4: Total Plot Floor Area = 100sqm / 1,076 sq.ft.



Ground Floor Plan  
Plot Floor Area = 54sqm  
Plots 5-8: Total Plot Floor Area = 102sqm / 1,098 sq.ft.



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Ensure CDM 2015 Requirements have been fulfilled  
prior to commencing work on site.

B. New Design  
A. Floor Areas Added  
Rev.



64-66 Westwick Street  
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NR2 4SE  
mobile: 07816332098  
email: nigel.cooper@norwicharchitects.com

Client :  
Bespoke Norfolk Group Ltd.  
Project :  
Fairfield Road, Downham Market  
Norfolk

Drawing Title:  
Proposed Ground & First Floor Plans  
Plots 1 - 7

Project No. NA 191	Scale 1:100
Drawing No. FR-DM-N-05 B	Date December 2022

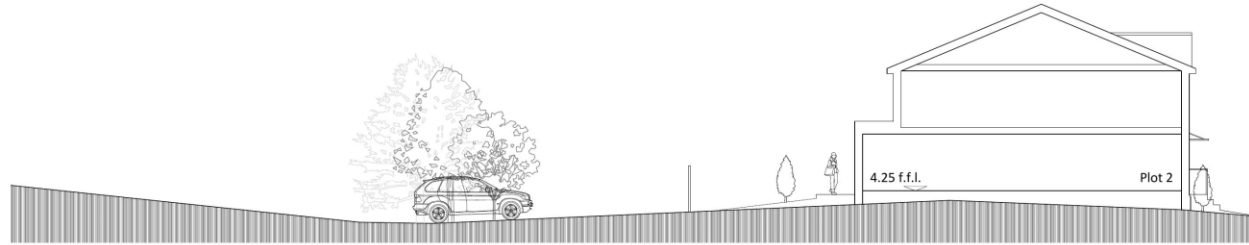


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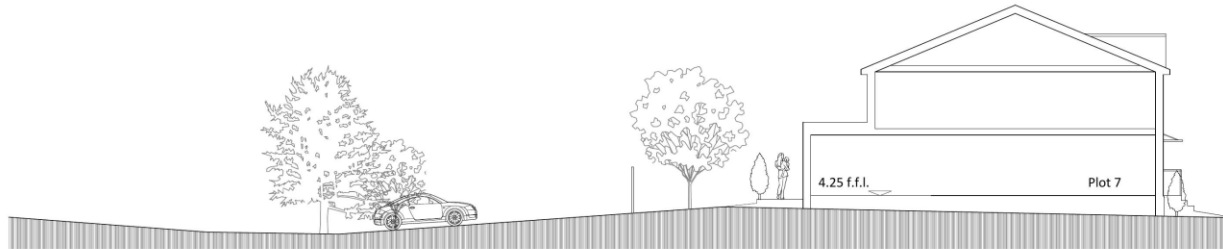
Ensure all pre-commencement Planning Conditions are discharged prior to commencing work on site.

Ensure any CIL Payments are completed prior to commencing work on site.

Ensure CDM 2015 Requirements have been fulfilled prior to commencing work on site.



SITE SECTION B-B



SITE SECTION A-A

B. Design amended  
 A. Levels updated  
 Rev.



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 email: nigel.cooper@norwicharchitects.com

Client :  
 Bespoke Norfolk Group Ltd.  
 Project :  
 Fairfield Road, Downham Market  
 Norfolk

Drawing Title:  
 Proposed Site Sections

Project No. NA 191	Scale 1:100
Drawing No. FR-DM-N-05 B	Date February 2023





Existing buildings





Existing buildings







View northwards along Fairfield Road from application site







View southwards of adjoining residential development site







Carriageway in front of the site







End of adopted highway looking northwards

23/00348/F







Existing Site Plan  
Scale 1:250



Unit 12, Dove Orchards, Thorntown Road,  
Hornsea-on-the-Sea, Norfolk, PE26 6LS  
Tel: 01328 736239 Web: www.strataarchitecture.com

Project:

Land to the East of Tower House  
15 Lincoln Street  
Hunstanton  
PE36 6AS

Title:  
Proposed New Dwelling  
Existing Site Plan

Scale(s): 1:250 @A3 Date: 23/02/2023

Drawn: EA Checked: JL

Drawing issued for: Planning

Dwg No: 674-100 Rev: -

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Proposed Elevations  
Scale 1:100



South Elevation



East Elevation

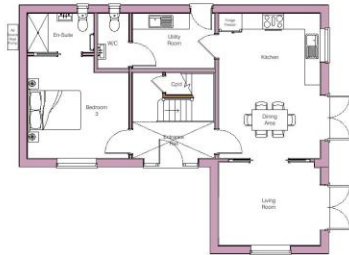


North Elevation

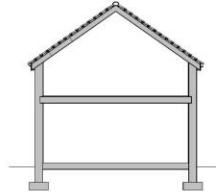


West Elevation

Slide  
No. 42



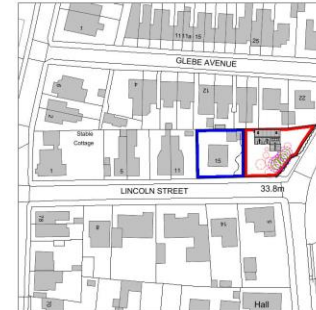
Proposed Ground Floor Plan  
Scale 1:100



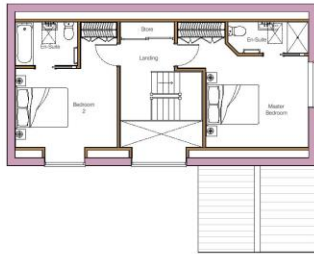
Proposed Section  
Scale 1:100



Proposed Site Plan  
Scale 1:250



Location Plan  
Scale 1:1250



Proposed First Floor Plan  
Scale 1:100



3D Front Perspective  
Not to Scale



3D Side Perspective  
Not to Scale



Unit 12, Crown Orchards, Thornham Road,  
Hornsea-on-the-Sea, Norfolk, PE36 6LS  
Tel: 01328 738238 Web: www.strataarchitecture.com

Project:  
Land to the East of Tower House  
15 Lincoln Street  
Hunstanton  
PE36 6AS  
Title:  
Proposed New Dwelling  
Proposed Floor Plans, Elevations  
Section, Site and Location Plan

Date: 17/02/2022  
As Shown @A2

Drawn: EA Checked: JL

Drawing issued for: Planning

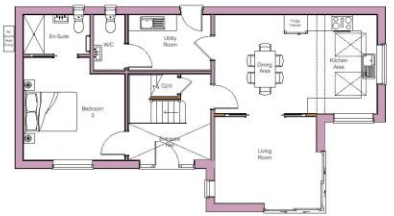
Draw No: 674-101 Rev: -

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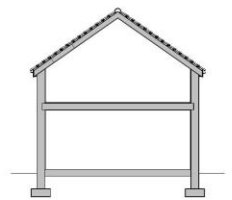


# 23/00348/F

Proposed Elevations  
Scale 1:100



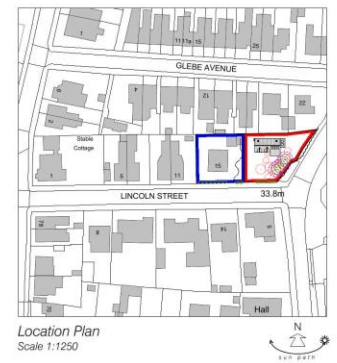
Proposed Ground Floor Plan  
Scale 1:100



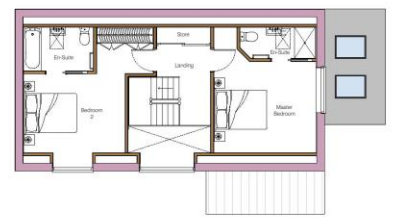
Proposed Section  
Scale 1:100



Proposed Site Plan  
Scale 1:250



Location Plan  
Scale 1:1250



Proposed First Floor Plan  
Scale 1:100



3D Front Perspective  
Not to Scale



3D Side Perspective  
Not to Scale



Unit 12, Crown Orchards, Thornham Road,  
Hornsea-on-the-Sea, Norfolk, PE36 6LS  
Tel: 01328 738259 Web: www.strataarchitecture.com

Project:  
Land to the East of Tower House  
15 Lincoln Street  
Hunstanton  
PE36 6AS

Title:  
Proposed New Dwelling  
Proposed Floor Plans, Elevations  
Section, Site and Location Plan

Scale(s): As Shown @A2 Date: 17/02/2022

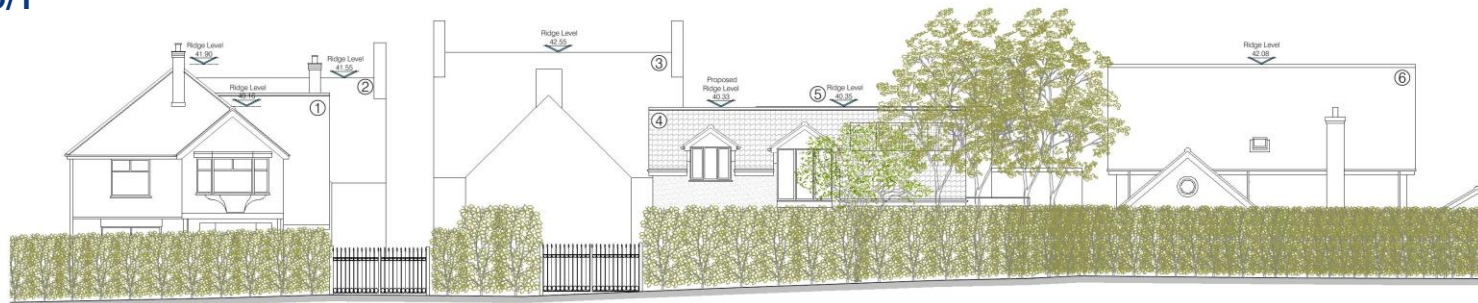
Drawn: EA Checked: JL

Drawing issued for: Planning

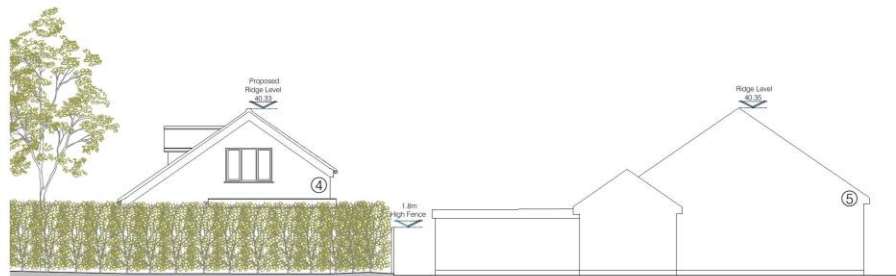
Draw No: 674-101 Rev: B

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## 23/00348/F



Proposed Street Scene (South)  
Scale 1:100



Proposed Street Scene (East) showing separation of No. 20 Glebe Avenue  
Scale 1:100



Proposed Site Plan  
Scale 1:500

### KEY

- 1 - 15 Lincoln Street
- 2 - 14 Glebe Avenue
- 3 - 16 & 18 Glebe Avenue
- 4 - Proposed Dwelling
- 5 - 20 Glebe Avenue
- 6 - 22 Glebe Avenue



Unit 12, Crown Orchards, Thornham Road,  
Hornsea-on-the-Sea, Norfolk, PE36 6LS  
Tel: 01263 738539 Web: www.strataarchitecture.com

Project:  
Land to the East of Tower House  
15 Lincoln Street  
Hunstanton  
PE36 6AS  
Title:  
Proposed New Dwelling  
Proposed Street Scene

Scale(s): As Shown @A2 Date: 14/08/2023

Drawn: EA Checked: JL

Drawing issued for: Planning

Drawg No: 674-200 Rev: -

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23/00348/F

Slide  
No. 45



View towards the site looking North from the A149 (Cromer Road)

23/00348/F

Slide  
No. 46

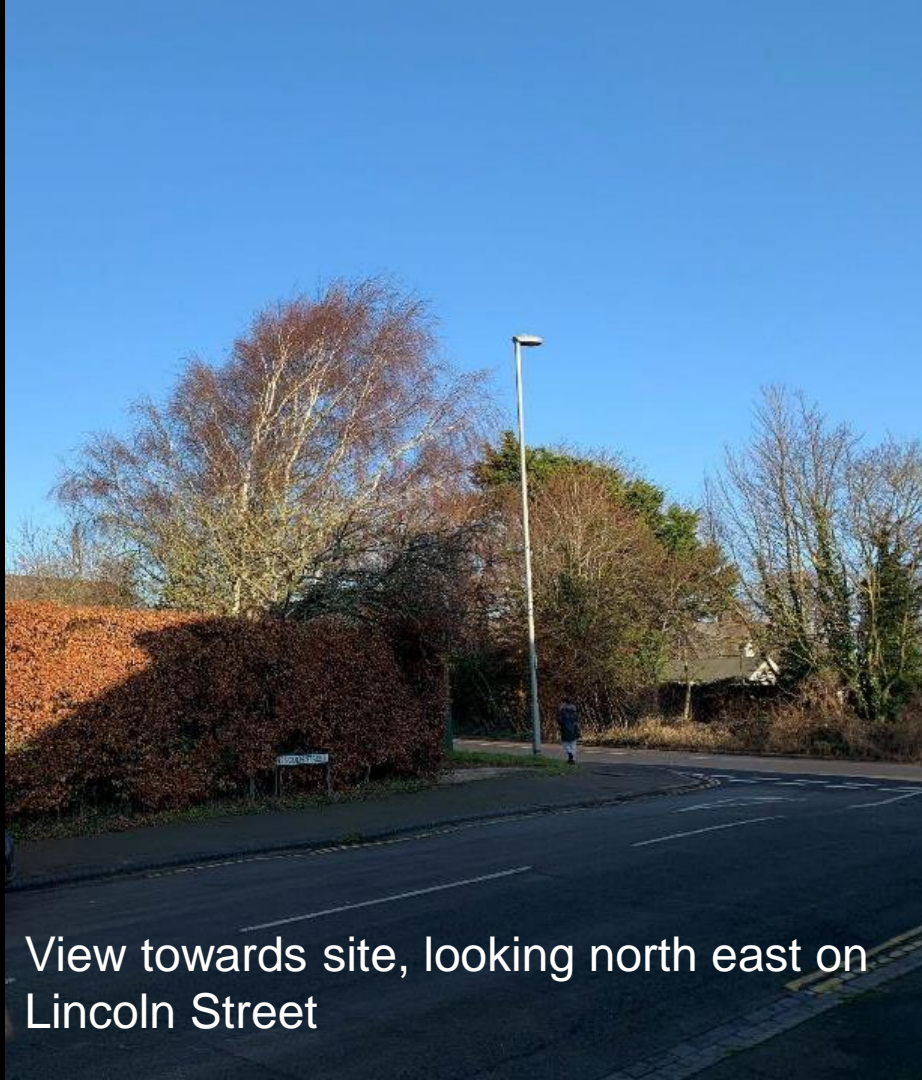


View away from the site looking south from the A149 (Cromer Road)



23/00348/F

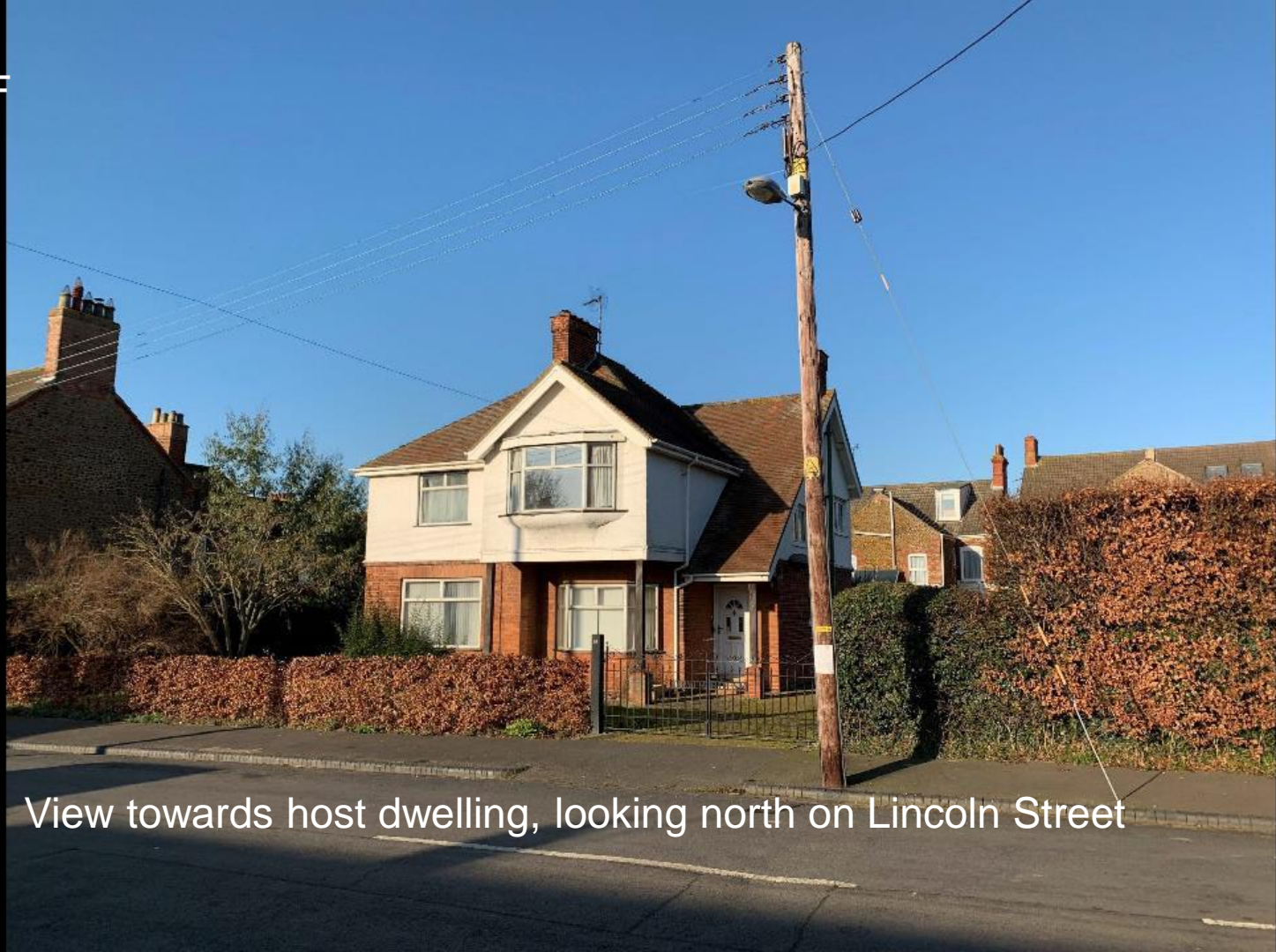
Slide  
No. 47



View towards site, looking north east on  
Lincoln Street

23/00348/F

Slide  
No. 48



View towards host dwelling, looking north on Lincoln Street



23/00348/F

Slide  
No. 49



View towards internal area of site, looking north east on Lincoln Street



23/00348/F

Slide  
No. 50



View towards internal area of site, looking north east



23/00348/F

Slide  
No. 51



View from internal area of site, looking north



23/00348/F

Slide  
No. 52



View from internal area of site, looking at the northern boundary



23/00348/F

Slide  
No. 53



View from internal area of site, looking west to host dwelling



23/00348/F

Slide  
No. 54



View towards site from northern neighbour



23/00348/F

Slide  
No. 55



View towards site from northern neighbour

# Speaker Trevor Bruce





23/00348/F

Slide No. 57



23/00348/F





23/00348/F

Our ref: 22/00215/TREECA  
Please ask for: Richard Fisher  
Direct dial: (01553) 616386  
Direct fax: 01553 616652  
E-mail: richard.fisher@west-norfolk.gov.uk

Borough Council of  
King's Lynn &  
West Norfolk



Geoff Hall  
Executive Director

Stuart Ashworth  
Assistant Director Environment and Planning

Joyce  
c/o Arborcraft  
Mr James Joyce  
33 Hunstanton Road  
Heacham  
PE31 7JY

**Status:** Conservation Area  
**Decision:** Delegated

23 November 2022

Dear Sir or Madam

**APPLICATION FOR TREE WORK**

**APPLICATION NO:** 22/00215/TREECA

**DESCRIPTION:** T1 Tamerisk, T2 Laburnum, T3 Pyracantha, T4 pear, T5 apple, T6 apple, T7 pear, T8 apple, T9 spruce, H1 Leylandii, H2 Privet

Fell all. All in poor condition, or problematic location.

**LOCATION:** 15 Lincoln Street Hunstanton Norfolk PE36 6AS

I refer to your application for Tree Work received 16 November 2022.

Further to my inspection on 22 November 2022, I can confirm that the Council has **No Objection** to the works detailed above.

I confirm that because the above works will not have a significant impact within the Hunstanton Conservation Area, this Council has **No Objection** to them proceeding

Please note that all works should be carried out to modern safety and technical standards. Final pruning cuts should be made to a branch collar or a suitable growing point.

This letter of consent will remain valid for 2 years from the date of writing.

Prior to any tree works being carried out it is recommended that the tree(s) are inspected to ascertain the presence of any legally protected species (in particular birds, bats and badgers) that are likely to be affected by the approved works. If any protected species are discovered advice should be sought from appropriate organisations (RSPB or Natural England).

This letter does not convey any rights to enter upon land not in your ownership or to carry out any work on or over land not in your ownership without first obtaining the express consent of the owner of the land concerned.

Yours Faithfully,

Richard Fisher  
Arboricultural Officer

Borough Council of  
King's Lynn &  
West Norfolk



King's Court, Chapel Street, King's Lynn, Norfolk PE30 1EX  
Tel: (01553) 616200  
DX 57825 KING'S LYNN

23/00348/F

Slide No. 60





23/00348/F

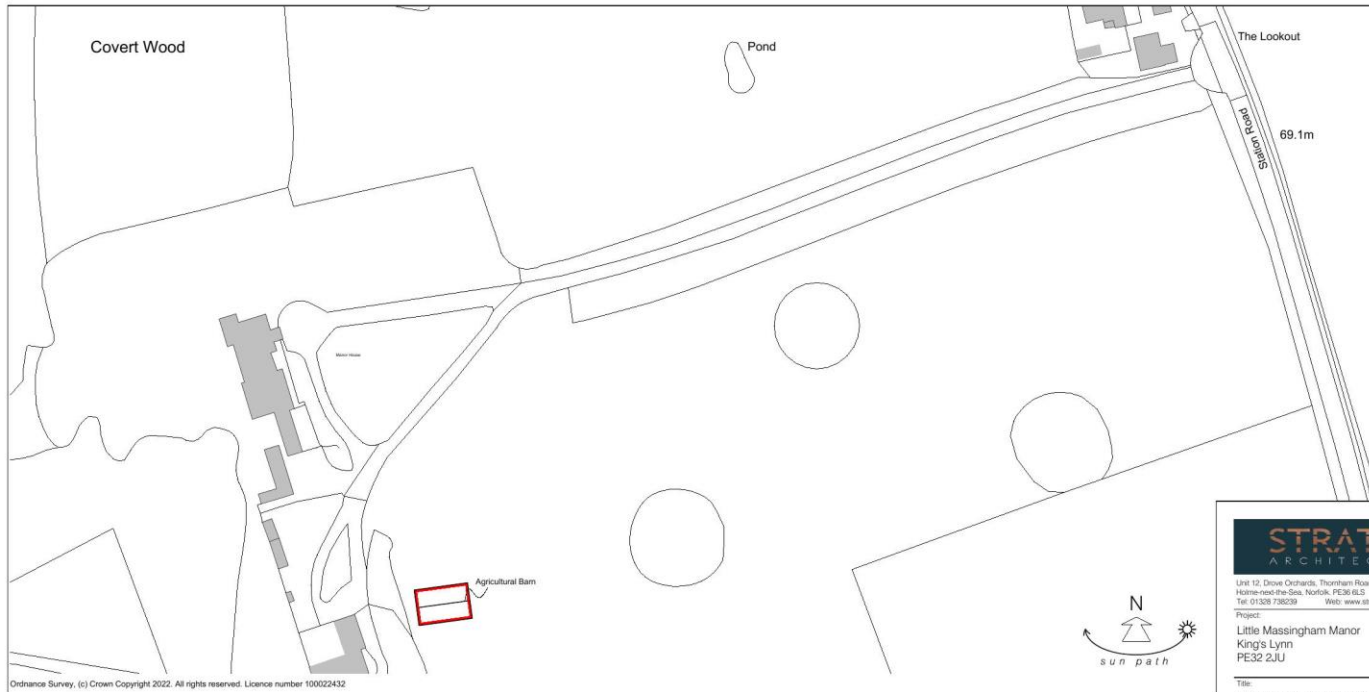
Slide No. 61



23/01104/F







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Location Plan  
Scale 1:1250



Unit 12, Drove Orchards, Thornham Road,  
Horse-wood-the-Sea, Norfolk, PE36 6LS  
Tel: 01328 738239 Web: www.strataarchitecture.com

Project:  
Little Massingham Manor  
King's Lynn  
PE32 2JU

Title:  
Retrospective Agricultural Barn  
Prior Approval  
Existing  
Location Plan  
Scale(s): 1:1250@A3 Date: 28/05/23

Drawn: SS Checked: JL

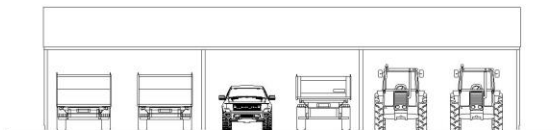
Drawing issued for: Planning

Dwg No. 676 - 002 Rev: -

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23/01104/F

Existing Elevations  
Scale 1:100



South Elevation



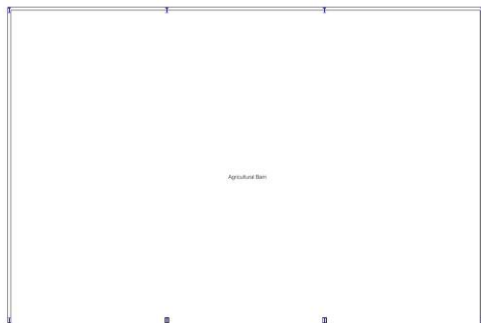
West Elevation



North Elevation



East Elevation



Existing Floor Plan  
Scale 1:100



Existing Site Plan  
Scale 1:250

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thereon are the copyright of Strata  
Surveying and Design.  
reproduction infringes copyright.

Rev. Date Description Drawn

Slide No. 64

Material Legend:  
Walls - Timber Cladding on Steel Frame  
Roof - Corrugated Steel  
Doors & Windows - N/A



Unit 12, Grove Orchards, Thornham Road,  
Horse-ree-the-Sea, Norfolk, PE36 6LS  
Tel: 01263 738039 Web: www.strataarchitecture.com

Project:  
Little Massingham Manor  
King's Lynn  
PE32 2JU

Title:  
Retrospective Agricultural Barn  
Prior Approval

Location Plan  
Scale(s): As Shown@A2 Date: 28/05/23

Drawn: SS Checked: JL

Drawing issued for: Planning

Drawg No: 676 - 001 Rev: -

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23/01104/F

Slide  
No. 65



Northern elevation of the building taken from driveway access



23/01104/F

Slide  
No. 66



North and east elevation of the building





23/01104/F

Slide  
No. 67



Southern elevation of the building



23/01104/F

Slide  
No. 68



Southern elevation in context





23/01104/F

Slide  
No. 69







23/01104/F

Slide  
No. 71



Building in context with existing buildings on site



23/01104/F

Slide  
No. 72



View south-westwards





23/01104/F

Slide  
No. 73



View south-westwards



View north-westwards of wider site – main property





23/01104/F

Slide  
No. 75



View north-eastwards across the parkland towards the road

23/01104/F

Slide  
No. 76



View eastwards across the parkland towards the road





23/01104/F

Slide  
No. 77



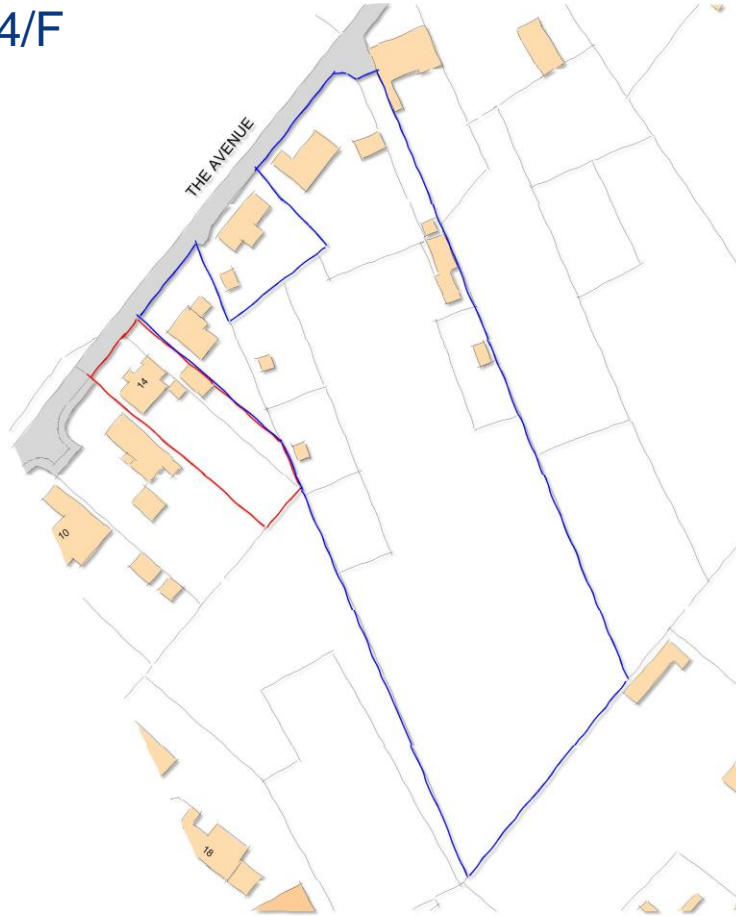
View south-westwards up the access drive towards the building

23/00914/F



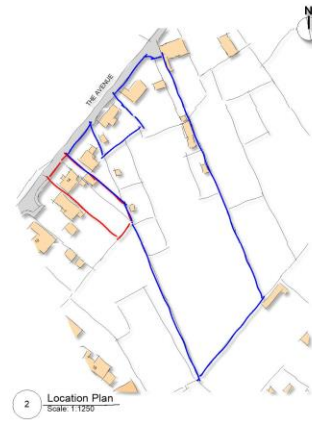


23/00914/F



1 Existing Site Plan  
Scale: 1:200

Borough Council of  
King's Lynn &  
West Norfolk



2 Location Plan  
Scale: 1:1250

**DO NOT SCALE FROM THIS DRAWING**

This drawing is a plan and must not be scaled except where required for planning submissions. All new and existing dimensions and levels shown on the drawings to be checked prior to commencement of work and any discrepancies to be reported to Claxland Architects.

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REV	DATE	BY

Slide  
No. 79

REV	DATE	BY

**PLANNING**

All drawings are submitted to the Planning Dept. as a condition of the contract to assist in the planning process.



The Claxland House, Litchfield Gardens  
Litchfield Road, Norwich, Norfolk, NR2 1JG, UK  
info@claxlandarchitects.co.uk www.claxlandarchitects.co.uk

**CLIENT:**  
Replacement Dwelling  
14 The Avenue  
Stratford  
Norfolk

**DRAWING TITLE:**  
Location Plan

SCALE	PAPER SIZE	DRAWING NUMBER	REVISION
DATE: 06/03/2023	A1	01	
DRAWN BY: JEN HARRIS 22/03/23	CHECKED: 	ISSUED APPROVED: 	

THE ABOVE DRAWING APPROVES THE GENERAL CONCEPTS OF THE PROPOSED DEVELOPMENT



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REV	DATE	REVISION	BY

Slide  
No. 80

3 Proposed Site Plan  
Scale: 1:500

REV	DATE	REVISION	BY

**PLANNING**

All drawings are submitted to the Planning Dept. as a condition of all contracts to assist in construction documents.



The Glass House, Lombard Gardens  
Lombard Road, Norwich, Norfolk, NR6 3JG  
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

**CLIENT:**  
Replacement Dwelling  
14 The Avenue  
Stratford  
Norfolk

**DRAWING TITLE:**  
Proposed Site Plan

SCALE	PAPER SIZE	DRAWING NUMBER	REVISION
DATE: 08/03/2023	A1	02	
DRAWN BY: 22253	CHECKED:	ISSUED APPROVED:	





1 Left Elevation  
Scale: 1:50



3 Front Elevation  
Scale: 1:50



2 Right Elevation  
Scale: 1:50



4 Rear Elevation  
Scale: 1:50

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 This drawing is a print and must not be scaled except where required for planning submissions. All sizes and setting dimensions and levels shown on the drawings to be checked prior to commencement of work, and any discrepancies to be reported to Clayland Architects.  
 Any construction work started prior to receiving all necessary approvals is strictly at the client's risk.  
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NO	DATE	REVISION	BY

NO	DATE	REVISION	BY

**PLANNING**

**Clayland architects**

The Glass House, Linstead Gardens  
 Lynnhall Road, Mundford, Norfolk, IP26 3JG  
 info@claylandarchitects.co.uk www.claylandarchitects.co.uk

**CLIENT:**  
 Replacement Dwelling  
 14 The Avenue  
 Stroudville  
 Norfolk

**DRAWING TITLE:**  
 Elevations

SCALE	PAPER SIZE	DRAWING NUMBER	REVISION
DATE	18/03/2023	04	
DRAWN BY	RAF		
JOB NUMBER	22263	CHECKED	ISSUED APPROVED

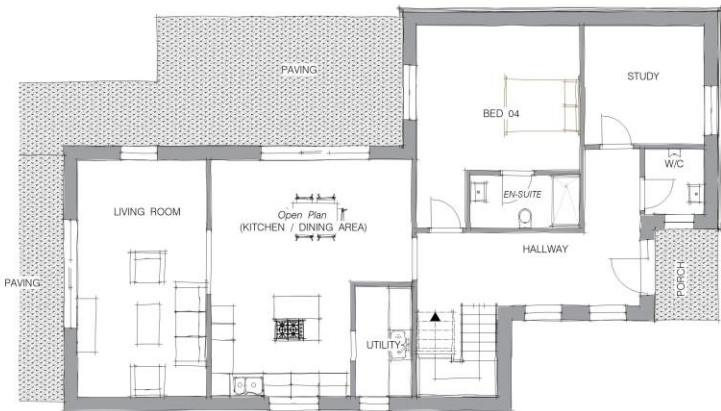
\*THE ABOVE DRAWING APPROVES GENERAL ACCEPTANCE OF THESE ELEVATIONS

23/00914/F

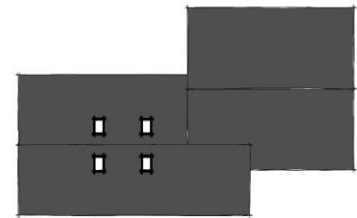
Slide  
No. 82



2 First Floor  
Scale: 1:50



1 Ground Floor  
Scale: 1:50



3 Roof Plan  
Scale: 1:100

**DO NOT SCALE FROM THIS DRAWING**  
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NO	DATE	REVISION	BY

NO	DATE	REVISION	BY

**PLANNING**  
 All content on applications to the council must be in compliance with the conditions of use of the council website.

**Clayland architects**  
 The Glass House, Linstead Gardens  
 Linstead Heath, Norwich, Norfolk, NR20 3JG  
 info@claylandarchitects.co.uk www.claylandarchitects.co.uk

**CONTRACT**  
 Replacement Dwelling  
 14 The Avenue  
 Stroudville  
 Norfolk

**DRAWING TITLE**  
 Floor Plans

SCALE	PAPER SIZE	DRAWING NUMBER	REVISION
DATE: 08/03/2023	A4	03	
DRAWN BY: JAW	CHECKED: JAW	DATE APPROVED: 22/03/23	

THE HOUSE BUILDER ASSOCIATION (HBA) IS AN ASSOCIATION OF HOUSE BUILDERS



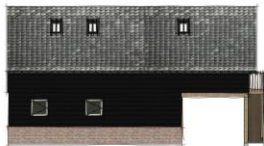
23/00914/F



3 Front  
Scale: 1:100



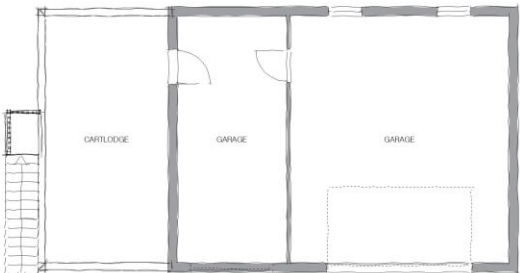
4 Side  
Scale: 1:100



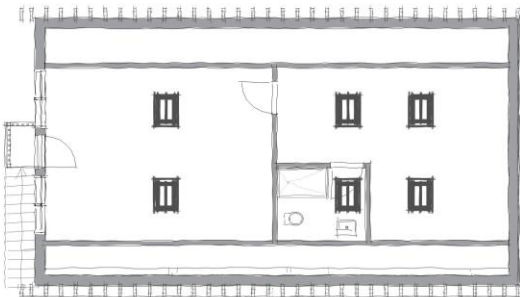
5 Rear  
Scale: 1:100



6 Side  
Scale: 1:100



1 Ground Floor (Garage) Plan  
Scale: 1:50



2 First Floor (Annexe) Plan  
Scale: 1:50



7 Perspective Sketch  
Scale: 1:100



8 Roof Plan  
Scale: 1:100

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NO	DATE	REVISION	BY

Slide  
No. 83

NO	DATE	REVISION	BY

**PLANNING**



The Glass House, Linstead Gardens,  
Lynnhall Road, Mundford, Norfolk, IP25 3JG  
info@claylandarchitects.co.uk www.claylandarchitects.co.uk

**CLIENT:**  
Replacement Dwelling  
14, The Avenue  
Strickland  
Norfolk

**DRAWING TITLE:**  
Garage Plans

SCALE: 1:50 1:100 1:200 1:500

DATE: 16/03/2023

DRAWN BY: 06

JOB NUMBER: 22253 CHECKED: CLEAR APPROVED:

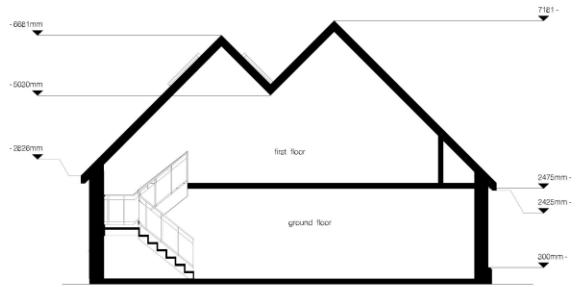
THE ABOVE DRAWING APPROVES CURRENT ACCEPTANCE OF RULES APPLICABLE

23/00914/F

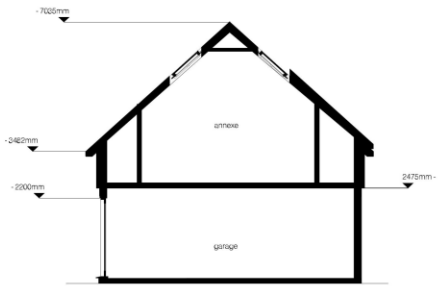
**DO NOT SCALE FROM THIS DRAWING**  
 This drawing is a plan and must not be scaled unless shown  
 marked for scaling purposes. All new and existing dimensions  
 and levels shown on the drawings to be checked prior to  
 commencement of work and any discrepancies to be reported to  
 Clayland Architects.  
 Any replacement work noted on plan to remedy all necessary  
 approvals in entirety of the drawing set.  
 This drawing is the copyright of Clayland Architects and shall not  
 be used, copied, modified or reproduced without their prior  
 written consent.  

NO	DATE	NOTES	BY

Slide  
 No. 84



1 Chalet Section  
 Scale: 1:50



2 Garage Section  
 Scale: 1:50

NO	DATE	NOTES	BY

PLANNING  
 All drawings are made to the scale shown unless otherwise  
 indicated on the drawings or stated in the schedule of  
 drawings.

The Glass House, Linton, Gillingham,  
 Linton Road, Norwich, Norfolk, IP20 9JG  
 01603 626200 / 01603 626201 www.claylandarchitects.co.uk

02/24/2023  
 Replacement Dwelling  
 14 The Avenue  
 Brockville  
 Norfolk

DRAWING TITLE  
 Sectional Drawings

SCALE	PAPER SIZE	DRAWING NUMBER	REVISION
DATE	18/08/2023	DRAWN BY	08
DRAWN BY		CHECKED	
JOB NUMBER	22023	CHECKED APPROVED	

\*THE SCALE SHOWN APPLICABLE TO ALL DIMENSIONS UNLESS OTHERWISE STATED



23/00914/F

Slide  
No. 85



23/00914/F

Slide  
No. 86



View northeast along the south side of The Avenue



23/00914/F

Slide  
No. 87



23/00914/F

Slide  
No. 88







23/00914/F

Slide  
No. 90



View south to the rear boundary







View southwest to the southwest boundary and No 12 (rear)





Approximate position  
of the application site

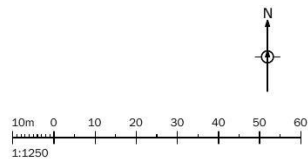
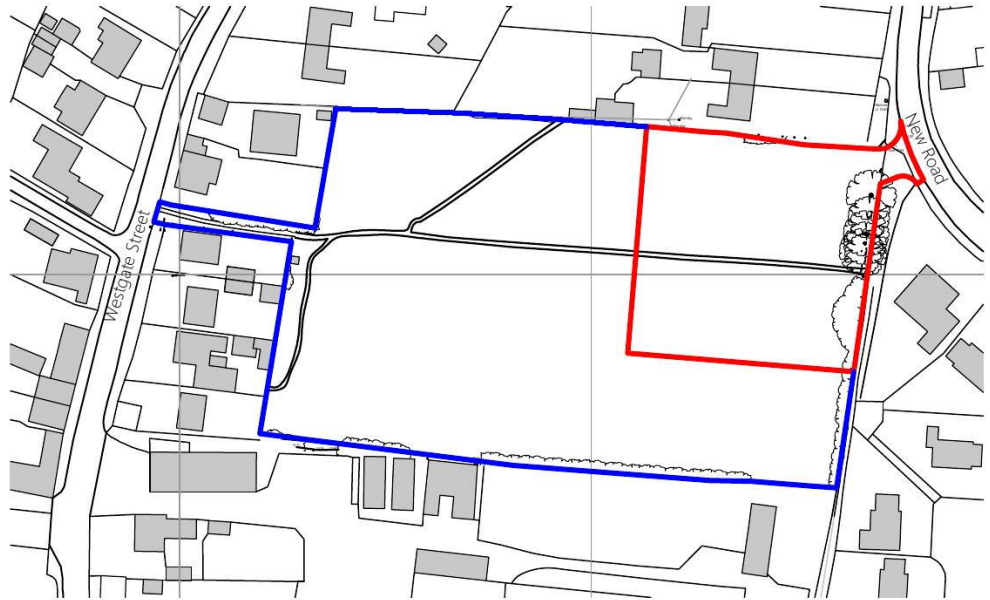


View from Main Road, Brookville, looking southeast towards the site



23/00056/F





A		14/12/22	General drawing updates
Date:	Revision:	Description:	
 <p>Info@vertexarchitecture.co.uk   www.vertexarchitecture.co.uk          2-3 Northgate Precinct, Hunstanton, Norfolk PE36 6EA Tel: 01465 532286          St. Georges Works, 51 Colegate, Norwich, Norfolk NR3 1DD Tel: 01603 576466</p>			
Project: Land off New Road, Shouldham			
Subject: Location Plan			
Date: 06/12/22		Scale: 1:1250 @ A4	
Project No.:	Drawing No.:	Revision:	
21270	01	A	





Borough Council of  
King's Lynn &  
West Norfolk

C	11/04/23	Revised access and plots
B	05/01/22	Existing footpath route added
A	14/12/22	General drawing updates
Rev	Revision	Description
<p><b>VERTEX</b> ARCHITECTURE</p> <p>11, Houghton Road, King's Lynn, Norfolk, UK, PE30 1JL          All drawings shall be checked, approved and signed by the Principal Designer.</p>		
Land off New Road, Shoulham		
Project: Proposed Site Plan		
Date: 04/12/22	Scale: 1:200 @ A1	
Project No: 21270	Drawing No: 03	Revision: C





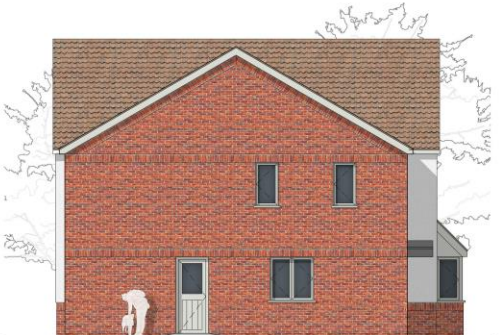
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Plots 1 & 3 (mirrored)

Materials  
Red brick  
White render  
Red pantile  
Flint



C	11/04/23	Updated notes
B	03/02/23	Finished floor levels included
A	05/01/23	Flint detail to front elevation added



Land off New Road, Shoukham

House Type A Elevations

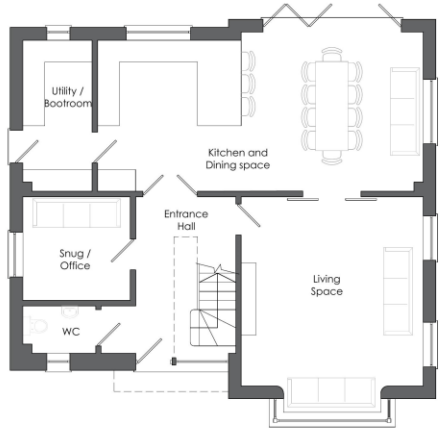
Date: 06/12/22 Scale: 1:50 @ A1

Plot No: 21270 Drawing No: 05 Revision: C





First Floor 1:50



Ground Floor 1:50

Plots 1 & 3 (mirrored)  
 Materials  
 Red brick  
 White render  
 Red pantile  
 Flint

A		11/04/23	Updated notes
 <b>VERTEX</b> ARCHITECTURE			
<small>           48-50 Southtown Road, Southtown, King's Lynn, Norfolk, PE30 1JG. Tel: 01553 812222            2, The Grange, Norwich, Norfolk, NR1 1JG. Tel: 01603 414141            All drawings remain the copyright of Vertex Architecture Limited. No part of this drawing may be reproduced without the written permission of Vertex Architecture Limited.         </small>			
Project: Land off New Road, Southham			
Series: House Type A Plans			
Date: 06/12/22	Scale: 1:50 @ A1		
Plot No: 21270	Drawing No: 07	Revision: A	

23/00056/F



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Plots  
2 & 5

Materials  
Red brick  
Timber cladding  
Red pantile  
Flint



B	03/10/23	Finished floor levels included
A	09/01/2023	Flint detail added to front elevation
Rev		



**VERTEX**  
ARCHITECTURE

48-50 Kingsway, Norwich, Norfolk NR1 1JH, UK. Tel: 01603 422000  
1, The Mill, Kingsway, Norwich, Norfolk NR1 1JH, UK. Tel: 01603 422000  
All drawings shall be checked, approved and signed by the architect.

Land off New Road, Shoulham

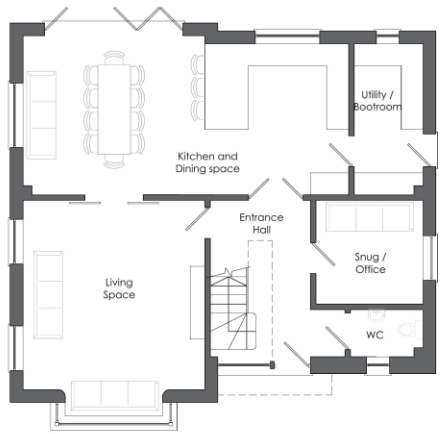
Project		House Type B Elevations	
Date	06/12/22	Scale	1:50 @ A1
Plot No.	21270	Drawing No.	07
Rev		Revision	B



23/00056/F



First Floor 1:50



Ground Floor 1:50

Plots  
2 & 5

Materials  
Red brick  
White render  
Red pantile  
Flint



Land off New Road, Shouldham			
House Type B Plans			
Date: 06/12/22	Scale: 1:50 @ A1		
Plot No: 21270	Drawing No: 08	Revision:	

23/00056/F



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Plots

4

- Materials
- Red brick
- Timber cladding
- Red pantile
- Flint

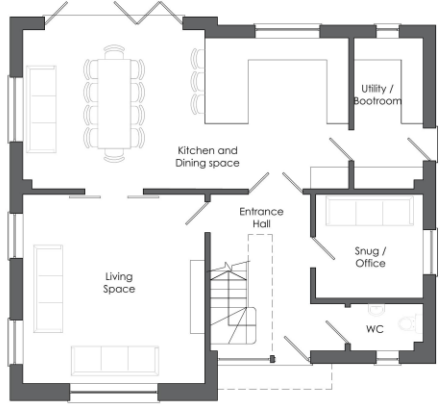


B	03/02/23	Finished floor levels included
A	05/01/23	Floor levels added to front elevation
Date	Revision	Description
 <b>VERTEX</b> ARCHITECTURE		
<small>Vertex Architecture (UK) Limited, a limited liability company registered in England and Wales, No. 11449446. Registered office: 10, Longwalk Road, Longwalk, Middlesex, TW20 1LH. Tel: 0181 871 1000. Email: info@vertex-arch.co.uk</small>		
Project: Land off New Road, Shouldham		
Elevation: House Type C Elevations		
Date:	Scale:	
06/12/22	1:50 @ A1	
Project No.:	Drawing No.:	Revision:
21270	09	B





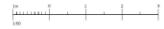
First Floor 1:50



Ground Floor 1:50

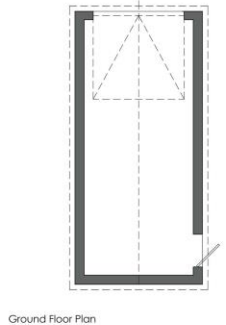
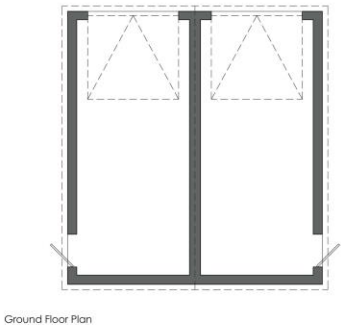
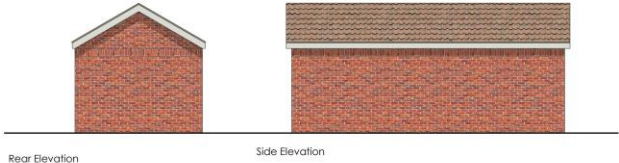
Plots  
4

Materials  
Red brick  
Timber cladding  
Red pantile  
Flint



A		05/1/23	Drawing updates
 <b>VERTEX</b> ARCHITECTURE			
<small>44-46 Southsea Road, Portsmouth, Hampshire, PO4 9DQ, UK          023 9282 2222          www.vertex-architecture.co.uk</small>			
Land off New Road, Shoultham			
Plots 4			
Materials House Type C Plans			
Date:	06/12/22	Scale:	1:50 @ A1
Project No.:	21270	Drawing No.:	08
		Revision:	A

23/00056/F



<p><b>VERTEX</b> ARCHITECTURE</p> <p>44-46 Colchester Road, Colchester, Essex, CO1 1JH, UK          0206 2511111   www.vertex-architecture.co.uk          2, The Grange, Norwich, Norfolk, NR1 1AA, UK   01603 622222          44, Colchester Road, Colchester, Essex, CO1 1JH, UK   0206 2511111</p>	
Land off New Road, Shoultham	
Subject: Garage Layouts	
Date: 06/12/22	Scale: 1:50 @ A1
Project No: 21270	Drawing No: 10
	Revision



23/00056/F



New Road with access to application site

23/00056/F

Slide  
No. 104





23/00056/F

Slide  
No. 105





Application site, looking north





Application site and existing PROW





23/00056/F

Slide No.  
108



Existing PROW





23/00056/F

Slide  
No. 109



Existing PROW, and neighbouring dwelling to south





Existing PROW across site







Application site, looking northeast





Application site, looking north







Application site, looking northwest





Application site, looking west





23/00056/F

Slide  
No. 115



Application site, looking west



23/00884/F





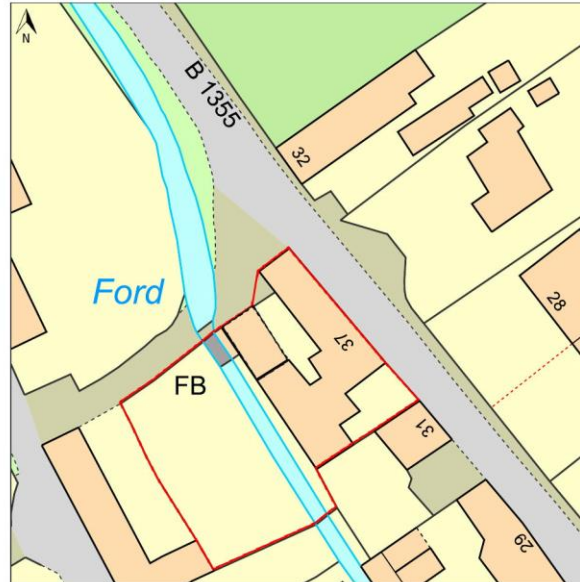


23/00884/F

37, FRONT STREET, SOUTH CREEKE, NORFOLK, NR21 9PF

UPRN: 10000054055

HMLR Title No: NK472079



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0100031673 Created using Plans by Emapsite



Scale: 1:500

Paper Size: A4

Notes:

Mr Van Rooyen  
Block Plan



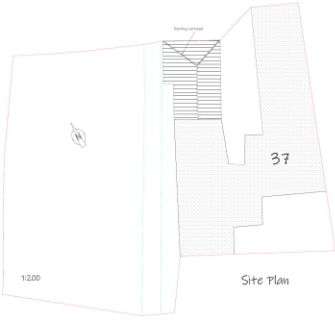


23/00884/F

Existing Elevations



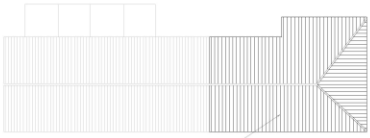
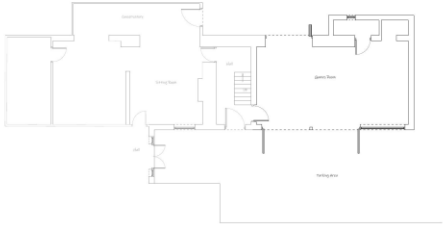
Proposed Elevations



Existing Ground Floor



Proposed Ground Floor



Existing & Proposed Roof Plan



<b>Project</b>	
Retrospective Change of existing cart shed to games room	
Date	26th June 2023
Scale	1:500 1:200
Elevations, Floor Plans & Site Plan	
Mr Van Toogen The Old Grocers 93 Front Street South Creake Fakenham Norfolk NR21 0PF	
Plans and Building Design Norfolk Ltd info@plansandbuildingdesignnorfolk.co.uk 01984 622770	
Plan No: 23/00884/F	
No measurements to be scaled off these. Measurements to be checked by contractor prior to commencement of work. Any discrepancies to be referred to the designer.	
This drawing is for information and Local Authority approval purposes	



Driving south on Front Street





23/00884/F

Slide No.121



23/00884/F

Slide  
No. 122



Courtyard Area



23/00884/F

Slide  
No. 123



Front of games room



23/00884/F

Slide  
No. 124



Rear boundary





23/00884/F

Slide  
No. 125



Rear (west) of games room



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Application site







Stoke Road looking southeast



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Stoke Road looking northwest



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Application site and protected trees





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Existing dwelling

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No. 134



Existing buildings





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No. 135



Existing barn







Existing barn and looking south from site.





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Looking south from site.





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Neighbouring dwelling to west







Opposite application site



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No. 140



Opposite application site

